

EXPERIENCE

ARCHITECTURAL
DESIGN
GUIDELINES

APRIL 2014

VALLEYVIEW WEST

• CAMROSE • ALBERTA •



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1.0 OVERVIEW + OBJECTIVES

Welcome to Valleyview West, a premiere estate community of 83 residential lots in the scenic City of Camrose. This exclusive community features large home sites, access to main shopping and recreation centres, a well developed trail system, and significant green space providing a beautiful backdrop for the neighbourhood.

This document outlines the Design Guidelines for Valleyview West Phase 1. The purpose of these Guidelines is to provide an overall level of harmony among homes by ensuring the very highest standard of craftsmanship, architectural detailing, visual appeal and integration of the community in the natural landscape. These guidelines act as a means to protect your investment, while providing the flexibility to customize your new home.

Outlining the opportunities and constraints of building, these guidelines will direct home owners, designers and builders towards appropriate building forms and details as well as landscaping requirements. They are intended to inspire both homeowners and designers to create delightful designs for their homes and yards, and they include clear rules and guidelines to ensure a cohesive character for the community as a whole.

The primary objectives of the architectural and landscape guidelines are:

THE OVERALL COMMUNITY IMAGE

Ensuring an attractive streetscape and integrated subdivision that provides a harmonized design appropriate to the setting.

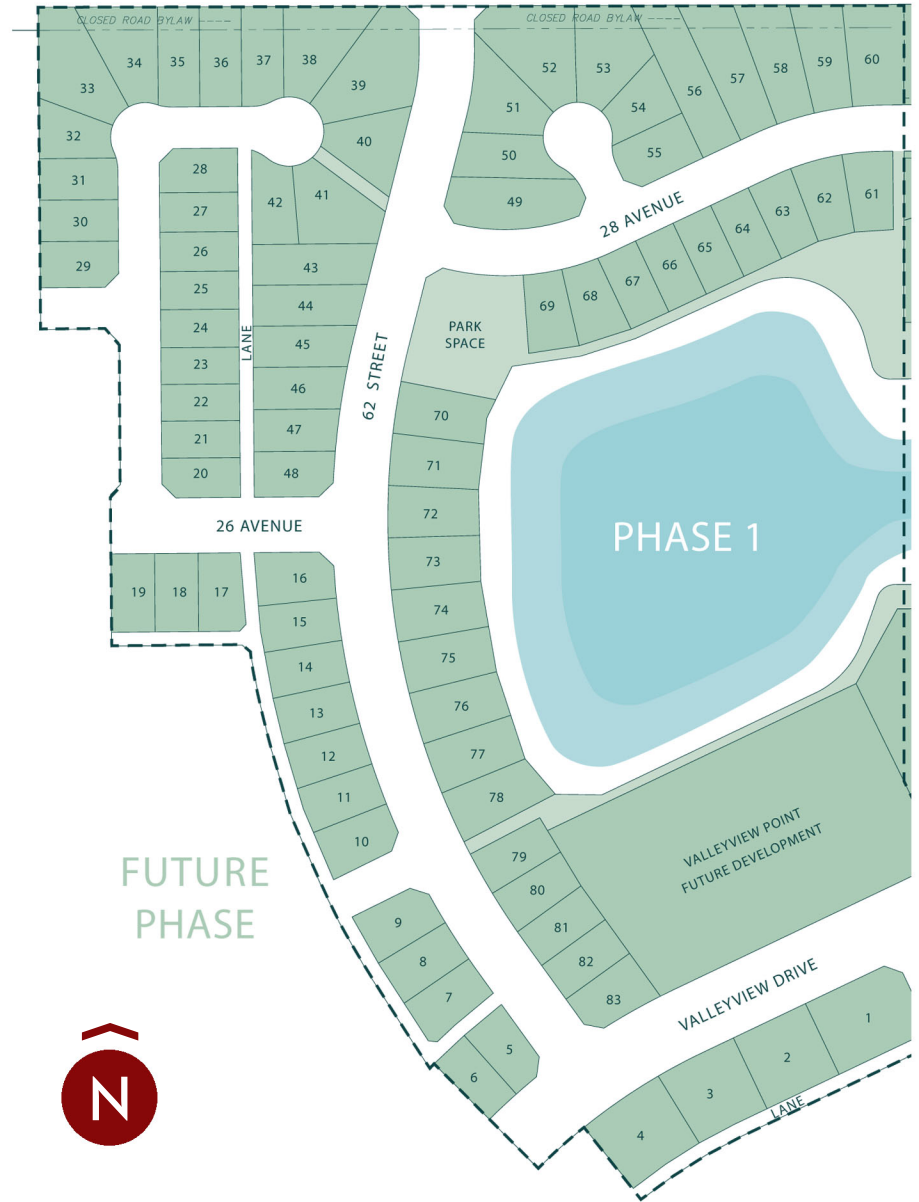
THE QUALITY OF THE COMMUNITY

These guidelines provide a standard that is required to meet the developer's vision of a comprehensively planned community.



PHASE 1 - PLAN

S.W.1/4 SEC.28 TWP.46 RGE.20 W.4 MER.



2.0 DESIGN THEME STATEMENT

The architectural theme of Valleyview West is to be a contemporary interpretation of regional Heritage styles. All homes within Valleyview West should be influenced and draw inspiration from Craftsman, Arts and Crafts, and Prairie architectural styles that emphasize the following characteristics:

- Inviting “street friendly” front facades that promote “eyes on the street”. It is encouraged that where possible, all homes provide one living / family room at the front of the home facing onto the street.
- Reduced massing through heightened articulation and the use of elements such as dormers, overhangs, porches, and wall projections.
- Provide horizontal elements to soften vertical ones in an elevation. Minimize the occurrence of tall or two-story design elements with no architectural relief.
- Create depth, interest and variation through changes in exterior materials, textures, colour, and the use of “human scale” details.
- Utilize clean, simple yet bold trim and detailing for all corner battens, window bands, shadow boards, columns and fascia.
- Varied roof forms and pitches that reduce bulk and are appropriate to the style of the house.

3.0 DESIGN GUIDELINES - GENERAL INFORMATION

3.1 VALLEYVIEW DESIGN CONSULTANT

These Design Guidelines are intended to provide all involved with a clear and common understanding of the expectations for the planning, design and review of development proposals for Valleyview West. Camgill Enterprises Ltd., through the designated Valleyview West Design Consultant (VDC), will work with the owners, architects or designers, and builders to ensure that these Design Guidelines are adopted in order to obtain a high quality of planning and architecture for the community.

Homeowners and Builders are encouraged to direct any questions regarding the guidelines directly to the VDC.

All purchasers are required to submit their plans to the VDC for approval prior to applying to the City of Camrose for a Building Permit.

3.2 THE HOME OWNER

For the purposes of these Design Guidelines, the “Owner” shall mean the registered owner of the building lot for which an application for Design Guideline approval is being sought or has been obtained.

All responsibility for meeting the requirements of these Design Guidelines lies solely with the registered lot owner.

3.3 OWNERS RESPONSIBILITY

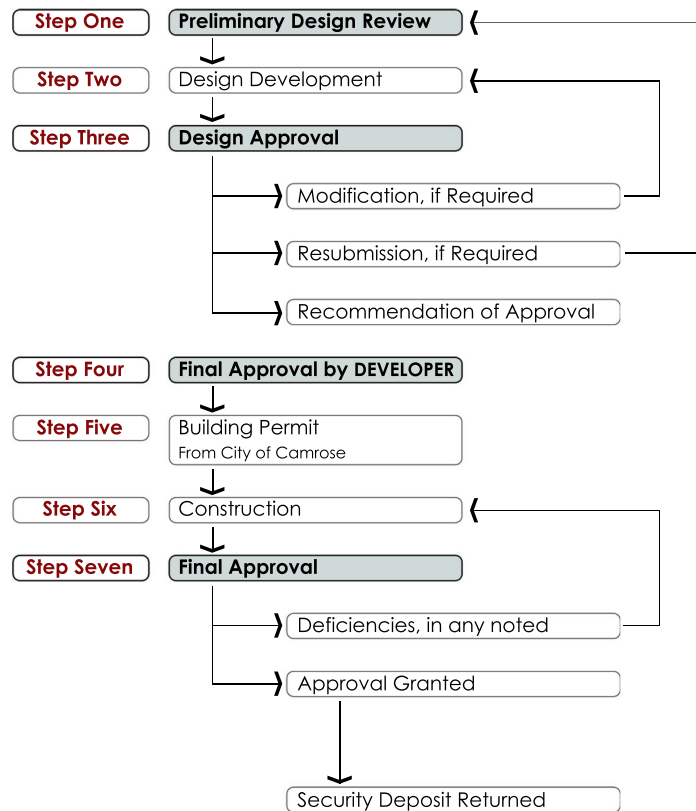
The Owner is responsible for complying with and meeting the specific criteria as well as the spirit and intent of these Design Guidelines. In addition to the Design Guidelines, all buildings must fully comply with the most current edition of the Alberta Building Code, The City of Camrose Land Use Bylaw requirements, and the New Home Certification Program.

Conformity with these guidelines does not replace or supersede the required approval process and necessary permits from the City of Camrose, or any other agency with jurisdiction.

3.4 DESIGN APPROVAL PROCESS

The Design approval process has been developed to ensure that all residential development at Valleyview West conforms to the Design Guidelines and maintains the integrity of the overall community vision. The design approval process must be completed prior to, and is required by the Developer for submission for Building Permit.

To ensure that the design approval process proceeds in an uncomplicated manner, it is recommended that all applicants adhere to the review process outlined below.



STEP ONE - PRELIMINARY DESIGN REVIEW

It is recommended that when a preliminary design for a proposed building or modification(s) to an Approved Plan has been completed, the applicant submit the preliminary information as early in the process as possible. This process will ensure that the proposed design(s) are in keeping with the Design Guidelines, prior to completion of a full set of construction drawings.

Submissions for preliminary design review must include the **DESIGN REVIEW REGISTRATION FORM (Appendix A)** and the required security deposit must be paid to the Camgill Enterprises Ltd. prior to submission of any plans.

STEP TWO - DESIGN DEVELOPMENT

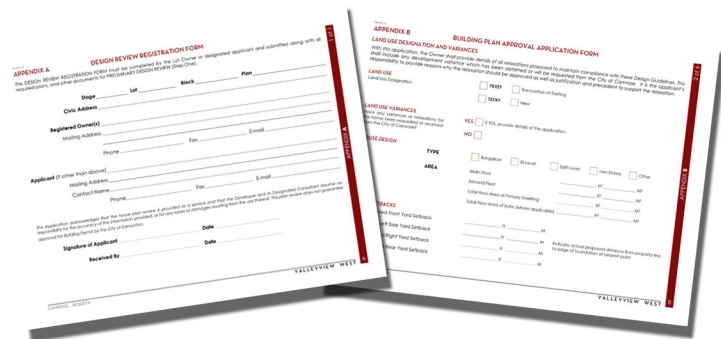
Upon receipt of the VDC's Preliminary Design Review comments, the proposed design(s) can continue to be refined for the building and landscape in order to meet the required Design Approval submission requirements.

STEP THREE - DESIGN APPROVAL

Upon completion of the building and landscape design, an application for final Design Approval may be submitted to the VDC. Before an applicant can apply for a Building Permit, the applicant is required by the Developer to receive Design Approval of the proposed building plans for conformance to the Design Guidelines.

Submissions for Design Approval must include all of the requirements as outlined in **Section 3.4.1 (Submission Requirements)**.

The VDC will prepare a written review of the submission and issue a recommendation for **Approval, Modification, or Resubmission** of the application based on adherence to the Design Guidelines.



STEP THREE - cont...

RESUBMISSION – A Recommendation for Resubmission will be returned to the applicant in circumstances where the proposed design contains several conditions which do not conform to the Design Guidelines. Or, the proposed design does not conform to the intent of the Design Guidelines. Resubmission and a second Design Approval review of the complete application will be required and additional design review fees will be assessed.

MODIFICATION – Modification - A Recommendation for Modification will be returned to the applicant in circumstances where the proposed design generally meets the requirements of the Design Guidelines, but requires some minor modifications to be fully compliant. Applicants are required to submit all revised materials to the VDC with no further review required.

APPROVAL – A Recommendation for Approval will be granted for applications that meet the requirements of the Design Guidelines and will require no further review. The Recommendation of Approval will outline certain conditions of approval for the home or improvement and will be issued to Camgill Enterprises Ltd.

Changes or alterations to previously approved applications are not permitted without the written authorization from the VDC.

Revisions are to be submitted as follows:

1. Letter describing requested revisions for approval.
2. All drawings required to accurately convey intent of revisions.

STEP FOUR - FINAL APPROVAL BY CAMGILL ENTERPRISES Ltd.

Upon receipt of a Recommendation of Approval from the VDC, Camgill Enterprises Ltd. will, at its sole discretion, issue a letter to the applicant permitting them to apply for a City of Camrose Building Permit.

STEP FIVE - BUILDING PERMIT

Following receipt of the VDC's Recommendation for Approval letter and a letter of approval from Camgill Enterprises, the Applicant may apply to the City of Camrose for a Building Permit.

STEP SIX - CONSTRUCTION

Following receipt of a Building Permit from the City of Camrose, the Applicant must submit a copy of the permit to the VDC.

Prior to commencement of work at the site we recommend the Owner review and document the location and conditions of site features such as the water service valve, other utility locations, sidewalks, roadway and curb, existing vegetation, etc. This inspection must be documented within the **LOT DAMAGE STATEMENT (Appendix C)** and submitted to the VDC prior to construction. Photo documentation of pre-existing damage is required.

During construction the VDC may complete periodic reviews of the site to ensure conformance with these Design Guidelines. Review by the VDC is not intended as an inspection process. Review for conformance with the approved drawings by the VDC will only be performed at the completion of construction.

STEP SEVEN - FINAL APPROVAL

Following completion of construction of the home and all required landscaping, the Owner may request a Final Review by the VDC.

To commence the review process, the **APPLICATION FOR FINAL REVIEW (Appendix D)** must be signed and submitted along with a copy of the approved Grading Certificate issued by the City of Camrose. Upon receipt of this information, the VDC will review the home and landscaping to confirm compliance with the Design Guidelines and the approval previously granted. Such inspection shall also be for the purpose of determining if damages have been made to the improvements (curb stop - water valve, adjacent utilities (light standards, fire hydrants, etc.), sidewalks, driveway aprons, asphalt roadway, curb and gutter, existing vegetation, landscaping, etc.).

Should the home and landscaping be in compliance, Camgill Enterprises Ltd. (upon written notification by the VDC) will either issue a cheque or authorize the release of a cheque for the security deposit refund amount (as per Section 3.4.1.2 - SECURITY DEPOSIT REFUND).

If the home and/or landscaping are not in compliance with the Guidelines and the approval previously granted, a notice of deficiency will be issued to the Owner. Following the rectification of all noted deficiencies, the Owner will be required to request a second Final Review and will be responsible for any applicable additional Design Review Fees (as per Section 3.4.2).

3.4.1 SECURITY DEPOSITS

3.4.1.1 ARCHITECTURAL + LANDSCAPING DEPOSITS

The Architectural and Landscaping Security Deposit(s) will be paid to the Vendor (Camgill Enterprises Ltd.) to ensure, inter alia, compliance with these guidelines, including:

- Confirmation that there is no contravention of the architectural and landscaping requirements in these Guidelines; and
- To verify that no damage has been made to the improvements (curb stop - water valve, adjacent utilities (light standards, fire hydrants, etc.), sidewalks, driveway aprons, asphalt roadway, curb and gutter, existing vegetation, landscaping, etc.).

The amount of the **Architectural Security Deposit** will be:

- \$2,000.00 for each Lot purchased pursuant to the Lot Purchase and Sale Agreement; or
- If the Purchaser forms part of the Vendor's builder group (which determination is to be made by the Vendor in its sole discretion) the sum of \$6,000.00 for all of the Lots purchased in the applicable Subdivision Stage.

The amount of the **Landscaping Deposit** will be:

- \$1,000.00 for each Lot purchased pursuant to the Lot Purchase and Sales Agreement.

The Landscaping Deposit will be held and dealt with in accordance with the Standard Terms and Conditions.

Completion of fencing is not a requisite to the Final Inspection, however if fencing is in place at the time of Final Inspection it will be assessed for compliance with the Guideline spec. Non-compliance will be treated as a deficiency, affecting the refund of Landscaping Deposit.

3.4.1.2 SECURITY DEPOSIT REFUND

Upon completion of construction, site works, and a successful Final Approval inspection (as outlined in STEP SEVEN of the DESIGN APPROVAL PROCESS), Camgill Enterprises Ltd. will refund the Architectural Security Deposit to the Purchaser (less any applicable fees for additionally required Design Review services or damages to improvements).

Upon completion of landscaping, and a successful Final Approval inspection (as outlined in STEP SEVEN of the DESIGN APPROVAL PROCESS), Camgill Enterprises Ltd. will refund the Landscaping Deposit to the Purchaser, or if the Landscaping Deposit is collected by the Purchaser from its homeowner, Camgill Enterprises Ltd. will authorize the Purchaser to release the Landscape Deposit.

If upon inspection the VDC determines that the landscaping has not been satisfactorily complied with, applicable Design Review Fees will be deducted from the Landscape Deposit for all re-inspections required. Design Review Fees for non-compliance will be assessed on a case-by-case basis.

3.4.3 SUBMISSION REQUIREMENTS

All drawings submitted for Design Approval shall contain all of the necessary information and be prepared to a level suitable for a City of Camrose Building Permit application. All drawings must be to scale, clear and legible. It is preferred that all drawings and required documentation be submitted electronically in PDF format. Half-scaled reductions are preferred to full size drawings (typically formatted to fit on tabloid (11x17) paper size).

Applications are to be submitted as complete sets only (drawings and application form), even if revisions are made to a single drawing. Incomplete submissions will not be reviewed and may be returned as incomplete.

Description of Item	Recommended Drawing Scale	Copies Required
BUILDING PLAN APPROVAL APPLICATION FORM (Appendix B) completed entirely and signed by the Applicant.		1
Plot Plan (Survey) prepared by an Alberta Land Surveyor.	1:250 metric (1" = 20'-0")	3
House Construction (Working) Drawings , including the following but not limited to:	1:50 metric (1/4" = 1'-0")	3
<ul style="list-style-type: none"> • Fully dimensioned and annotated plans of all floors (including proposed geodetic elevations of each); • Fully dimensioned and annotated elevations of all building facades (including roof slopes); • Fully dimensioned and annotated longitudinal section of the primary building; • Roof plan indicating all proposed roof slopes; • All materials and colours on all facades are to be listed on the elevational drawings, and/or in a finish schedule, detailing: <ul style="list-style-type: none"> • Wall cladding, and all trim (window, door, corner boards, friezes, etc.); • Gable end materials and details; • Roof Materials; • Soffit, fascia, and rainware (for all roofs - main, porch, dormers); • Porch floor including all stairs / steps to the house and porch; and • Columns, columns bases, and balustrades; • Where applicable, all existing finishes and/or materials are to be clearly annotated. 		

4.0 DESIGN GUIDELINES

4.1 SITE PLANNING

4.1.1 SITING + SITE COVERAGE

The maximum site coverage for all homes shall conform to those established in the most current edition of the City of Camrose Land Use Bylaw.

Homes are to be sited in a manner that complements the overall streetscape, ensures compatibility with adjacent development, and contributes to a “street friendly” environment. Frontage of the development envelope within the setbacks shall be 80% minimum. The front attached garage may be offset to fill the width of the house pocket at the sole discretion of the VDC.

4.1.2 SETBACKS + SEPARATION SPACE

Minimum setbacks for all front, side and rear yards are to conform to those established in the most current edition of the City of Camrose Land Use Bylaw.



4.1.3 LOT GRADING

The Builder and/or Purchaser is responsible for ensuring all lot grading is consistent with the latest approved Subdivision Grading Plan. The costs of obtaining proper grading and drainage are the responsibility of the Builder and/or Purchaser.

All plot plans are to be prepared by the Designated Surveyor. The staking out of the home will be jointly carried out by the Builder and the Designated Surveyor.

Drainage swales and retaining walls, where required and approved, must be designed to enhance the site's natural character and conform to the overall site grading and drainage plan.

4.2 STREETScape

4.2.1 MASSING + BUILDING HEIGHT

The maximum building heights are to conform to those established in the most current edition of the City of Camrose Land Use Bylaw.

Designs are required to have depth and a variety of roof lines. Front elevation massing and detail are critical elements of the design. The massing of homes should be consistent with the area and neighbouring homes.

Two storey massing shall be reduced on the front and flanking elevations (if applicable) by recessing the upper floor wall line from the lower and/or by the use of roof skirts at the floor line of the upper floor level and/or the introduction of a porch or verandah.

4.2.2 REPETITION

To encourage a rich, diverse streetscape, similar elevations may not be repeated within two (2) lots of each other (ie, **XABX**) including those across the street. A change of building material alone and/or the reversing of a plan are not sufficient. Modifications to similar elevations may be required accordingly.

This may be altered at the discretion of the VDC if it can be shown that the two elevations in question are located so as not to be visible together from any angle.

The repetition rules within cul-de-sacs are at the discretion of the VDC.



4.2.3 HIGH VISIBILITY + PROMINENT LOTS

Prominent lots are defined as having highly visible rear or side elevations (including walk-outs), such as those facing onto a park, internal pathway, trail system, or onto a cornering street. These elevations must be designed with materials and details similar to the front elevation (i.e. windows, trim, dormers, columns, gable treatments, shutters, etc.).

4.2.3.1 CORNER LOTS

Bungalows or 1-1/2 storey models are encouraged for all corner lots due to their reduced massing. Consideration will be given to all housing types for corner lots if it can be demonstrated that the merits of the design meet the objectives of these guidelines (building height, massing) and do not create an abrupt end to the streetscape.

Single storey elements shall comprise a minimum of 30% of the width of the front and flanking street elevations of the house in order to reduce its scale.

Chimneys are required if a fireplace is facing the flanking street elevation (direct venting on street facing elevations will not be allowed).



4.2.3.2 REAR ELEVATIONS

Rear elevations shall incorporate proportions and detailing consistent with the front elevation. Avoid expanses of blank wall space by utilizing main floor design elements (roof skirt, deck, etc.) and upper floor articulation (gables, dormers, etc.).

Exposed gable ends shall provide the same level of design and detail as presented on front elevations. All second floor cantilevers and projections must be anchored by a separate roof line and with overhang or appropriate treatment.



4.2.3.3 WALK-OUTS

All walk-out elevations shall utilize a graduated roof line and a combination of architectural details (dormers, decks, roof skirts, and balconies) and a minimum of two walls planes to articulate proportion and minimize a towering appearance. Continuous / uninterrupted three story rear elevations on walkout lots will not be permitted.

The distance from finished grade to the first eave line shall not exceed 20'-0".

4.3 ARCHITECTURAL DETAILS + MATERIALS

4.3.1 ARCHITECTURAL FINISHING

To achieve a high standard of curb appeal associated with Valleyview West, all exterior building finishes shall be consistent around all sides of the building. The use of "feature" finishes on the front elevation of a building and lesser finishes on the side and rear elevations is not permitted.

4.3.1.1 FOUNDATIONS

All parging shall be kept to a minimum and shall be reviewed on a case-by-case basis by the VDC.

4.3.1.2 EXTERIOR WALLS

All exterior walls must be finished in similar materials and use consistent detailing on all sides of the main volume of the home, garage, and any other structure(s) on the lot.

Changes in pattern and materials in order to distinguish volumes or define design elements are strongly encouraged. An accent or secondary wall material is encouraged on all building elevations.

Acceptable materials for primary walls include, painted fiber cement siding (HardiePlank - lap siding), painted engineered wood siding (LP SmartSide Lap), vinyl siding in premium colours, and stucco. All horizontal siding is to be in a traditional horizontal lapboard or clapboard profile with a minimum exposure of 3" and a maximum exposure of 4.5".

Where stucco is used, a secondary cladding material is strongly encouraged. Stucco cladding will require extensive trim at window and door openings, eaves and base areas. Banding details used on the front elevations must be used on all exposed sides of the home. Stucco build-outs / trim are not permitted.

Secondary wall materials may consist of (vertical siding (wood board and batten / HardiePanel / LP SmartSide Panels / vinyl), shingles (wood / HardieShingle / LP SmartSide Shakes / high quality vinyl shakes), and natural materials such as brick and stone in a stacked application.

All stone applications will be at the discretion of the VDC.

4.3.1.3 MASONRY

Masonry detailing such as brick, stone, and cultured stone is mandatory on the front elevation of all homes. Masonry shall be a minimum of 900mm (36") in height and extend to both side elevations and terminate at a logical vertical break (chimney or wall projection) on the side façade. Where breaks or articulation do not occur, the treatment shall extend a minimum of 600mm (24") from the front corner of the home.

4.3.1.4 ACCENT MATERIAL + TRIM

Trim will be required on all front elevations of all homes. Trim is also required on all high visibility / prominent lot elevations and shall consist of equal materials installed to the same level of detail presented on front elevations. Required trim for these elevations is to include all windows, doors and corners.

Doors and windows shall have a minimum of 4" trim in width and shall be of suitable thickness to provide relief from building siding.

Window, door, and corner trim may be fiber cement board (HardieTrim), engineered wood (LP SmartSide Trim), painted or stained wood, or vinyl.

Prefinished aluminum trim are not permitted.



4.3.1.5 PORCHES + COLUMNS

All homes in Valleyview West should incorporate a front porch or portico on the front face of the home. Porch detailing including columns and beams should be simple and treated as an integral aspect of the architecture of the home.

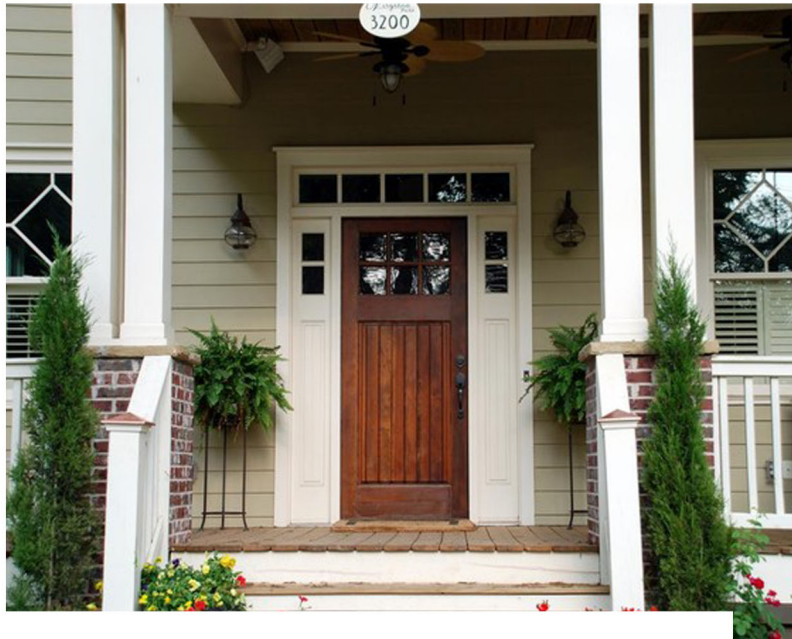
Front porches should have a minimum depth of 1.5M (5'-0") and a minimum width of 2.4M (8'-0") for practical use by Owners.

Porch roofs must be designed to direct snow away from pedestrians.

If a submitted design does not have a front porch or portico but has adequate detail and massing, it may be accepted at the discretion of the VDC.

All columns or posts on front or highly visible elevations should include trim details suited to the architectural style of the home and are to be of substantial form and solid in appearance.

The base of columns or posts must rest entirely on the landing or step beneath. For wood steps, porches and verandahs, columns are to continue down to grade and provide a strong visual foundation.



4.3.1.6 FRONT ENTRANCES + DOORS

The front entry to a home shall be designed in a manner that minimizes the number of steps / risers at the front elevation and compliments the grade of the lot. Any variance will be at the sole discretion of the VDC.

Stairs are to be either pre-cast / cast-in-place concrete or wood constructed on site. If wood stairs are used, the vertical surfaces (risers) at a minimum are to be finished to match or complement the trim colour of the house. The horizontal surfaces (landings / treads) of wood stairs and decks are not required to be stained or painted. Unfinished crezone panels on stairs will not be permitted.

Open stair treads will not be permitted.

All front entrance doors are to be of high quality and appropriately detailed and of a design consistent with the style of the house. Metal doors are to be painted to match or complement siding colours. White doors will not be permitted. Wood doors should be stained to complement the house colours.

It is encouraged that all front doors are to incorporate glazing, either as part of the design of the door, or as a sidelight or transom window.



4.3.1.7 ROOF ELEMENTS + OVERHANGS

Roof forms are to be consistent with the architectural style of the home (typically a mix of hips and gables) and incorporate a minimum of one feature / element on the front elevation.

The minimum roof pitch will be 5:12. Bungalows will require a greater roof pitch to adjust massing.

Two storey homes adjacent existing bungalows may require adjustments to their proposed rooflines in order to maintain a continuity of scale between homes and reduce abrupt changes in the streetscape.

Roof (eave) overhangs should be proportionate to the architectural style selected. Overhangs are to be a minimum of 18", except over a cantilever, bay or boxed out window where the minimum overhang required is 12".

Shingle colours shall be appropriate to the architectural style, in earth tone shades (black, greys and browns) and must compliment the siding colour as approved by the VDC.

4.3.1.8 SOFFIT + FASCIA

All homes are required to provide soffits under the eaves and 150mm (6") wide fascia boards.

Soffits shall be either prefinished aluminum, painted fiber cement (HardieSoffit), or painted / stained wood.

Fascia shall be prefinished aluminum, fiber cement board (HardieTrim) or painted engineered wood (LP Smartside Fascia). Vinyl fascia will not be permitted.

4.3.1.9 WINDOWS

All major vertical surfaces shall be articulated with windows that are balanced within the wall space, are consistent with the architectural style of the home, and provide a consistent composition to all facades.

Feature window(s) are encouraged on the front elevation. Large undivided windows are not permitted, although a grouping may include larger and smaller units together.

Basement windows on the front façade are not allowed. Skylights facing the front street are not permitted.

Muntin bars, when used, shall be constructed of solid materials and have the appearance of true divided lights.

4.3.1.10 DECORATIVE ELEMENTS

An essential part of the character of a custom home is the use of well-designed details. Decorative elements such as timber brackets, keystones, shutters, cupolas / weathervanes, and lighting consistent with the chosen architectural style provide period interest and inviting detail.

Recessed pot lights or light fixtures appropriate for the style are encouraged for the garage and front entry.

Brass accessories (ie. lighting, house numbers, and mailboxes) are not permitted on the exterior of any home.



4.3.1.11 RAINWARE - EAVES + DOWNSPOUTS

Eaves and downspouts are required on all homes and shall be limited on exposed elevations and designed in a manner to minimize their appearance where required.

Downspouts must be oriented in accordance with the lot grading plan and be designed in a manner to limit channeling of water flows exiting the downspout. Water flow from downspouts may not be directed toward neighbouring properties unless a suitable swale exists between the properties to ensure adequate drainage away from the homes.

Eaves and downspouts shall be of prefinished painted metal. Plastic eaves and downspouts are not permitted.

4.3.1.12 CHIMNEYS

Chimneys are encouraged as architectural elements.

Chimney flues, as a minimum, must be boxed-in with the same finish as the main body of the home. It is encouraged that all chimneys be clad in an accent material such as brick or stone. Chimneys should be kept relatively simple in massing and articulation, and substantial in proportion. Larger chimneys may be required when the chimney is intended as an architectural detail enhancing the elevation.

Chimney projections on exterior walls of high visibility shall extend to the foundation / grade. Cantilevered chimneys are not acceptable if they are visible from the street.

Vents not located within chimneys are to be located on rear roof slopes or other less visible locations or be painted to match the roof colour. Vents are not permitted on the front of the home.

4.3.1.13 DECKS, BALCONIES + RAILINGS

Rear decks and balconies must be architecturally consistent with the home and incorporate appropriate column designs (dimension, style) that are integral to the railing design.

Proposed decks for high visibility / prominent lots (including walkouts) shall be built at the initial time of construction and must be clearly illustrated on the building plans.

The underside of all above grade decks must be appropriately finished (ie. soffit).

cont...

Front porches, decks and balconies shall include railings that complement the architectural style of the home. Overly ornate metal, vinyl or PVC railings will not be permitted.

4.3.1.14 GARAGES + GARAGE DOORS

All garages are to be sited on the lot in conformity with the approved Subdivision Garage Plan for Valleyview West.

All homes **must** be provided with an attached double garage, or alternatively a detached double garage. All garages (attached and detached) shall be constructed such that their design (massing and articulation), detailing, trim, and finish materials (including gable ends) coordinate with, and do not overwhelm the home.

Any garage face (attached or detached) that is predominantly visible from the street will require articulation and at least one window. Long uninterrupted, blank walls visible from the street will not be permitted.

A maximum of 600mm (24") must be maintained between the top of the overhead door and the eave line. Where the height exceeds 450mm (18"), special detailing may be required.

Garage doors must be a standard raised panel door or an upgraded design style to match the proposed architectural style of the home. Flush panel doors are not permitted. The door may be metal or wood and should match the main body colour of the home.

4.3.1.15 ANCILLARY BUILDINGS

Where visible from a public adjacency, all ancillary (storage, garden, etc.) buildings shall be constructed such that their detailing, finish materials (including roofing), and colours coordinate with the approved finishes of the home. Metal or plastic garden sheds are not acceptable. Sheds with OSB or plywood cladding are not acceptable.

For lots backing onto an internal pathway and trail system, or public green space, ancillary building shall not be constructed within 3.0M (10'-0") of the rear property line.

5.0 COLOUR PALETTE

The VDC will review colours at Valleyview West based on the homes context within the overall streetscape. Primary house colours cannot be repeated within two (2) lots on the same side of the street and will not be permitted directly across the street. Exterior colours should be compatible and harmonious with the colours of adjacent homes and the natural environment.

All exterior colour schemes require approval and must be accompanied with exact colour chips and approval is at the sole discretion of the VDC.



6.0 LANDSCAPING + LANDSCAPE ELEMENTS

6.1 PLANT MATERIAL REQUIREMENTS

All front and rear yards are to be landscaped (in their entirety) with lawn, trees, shrubs, and flower beds according to the submitted and approved landscape plan (as described in Step 3 of the Design Approval Process, and Section 2.4.1 Submission Requirements).

It is the responsibility of the Builder / lot Owner to ensure all required landscaping is completed within 12 months after the issuance of the Occupancy Certificate.



The Owner is required to plant one (1) tree within each front yard. All required trees must be greater than 1.8M (6'-0") in height for conifers and larger than 50mm (2") caliper for deciduous.

The Owner is required to plant six (6) shrubs minimum within a prepared shrub bed. The six (6) required shrubs shall be a minimum #5 pot.

All Corner Lots will be required to plant one (1) additional tree and six (6) additional shrubs (of the same size specification) on the flanking side of the property.

The Owner is required to install sod within the entire front and flanking side yards of corner lots. All sod is to be installed over a minimum 150mm (6") of topsoil. Grass seed is permitted in rear yards only.

Xeriscaping is not permitted.

6.2 DRIVEWAYS +SIDEWALKS

Driveways may only be constructed of standard "broom finished" concrete, stamped concrete, exposed aggregate or sand blasted concrete. Asphalt paving, precast concrete unit pavers / brick, and loose aggregate (ie. gravel) is not permitted as driveway materials.

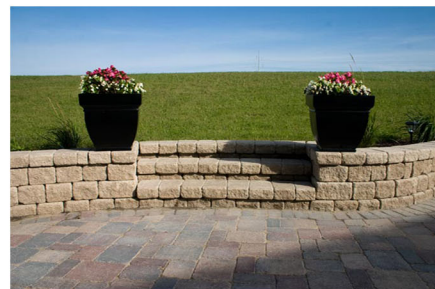
Front walks are to be a minimum 1200mm (48") in width. Front walks shall consist of the same materials as the main part of the driveway and are to be poured at the same time as the driveway. Precast concrete sidewalk blocks / stepping stones are not permitted.

Poured in place and pre-cast concrete steps are permitted as long as they are constructed of the same materials and colouration of the driveway and sidewalk leading to the home.

6.3 RETAINING WALLS

Any retaining walls are the responsibility of the Builder and/or purchaser and are to be constructed completely within private property lines.

Retaining walls should be limited to a maximum exposed height of 0.9 m (3'-0"). Retaining walls higher than this should be designed in a stepped fashion to reduce the visual impact of the wall. All retaining walls are to be constructed to compliment the exterior building finishes and blend with the landscape. Timber retaining walls will not be acceptable.



6.4 FENCING

The construction and maintenance of any required rear and sideyard fencing is solely the responsibility for the Builder / Homeowner. All rear and side yard fencing for Standard Lots shall be constructed in regards to style and colour as per the provided construction detail 6.4.1.

Chainlink fencing will be provided along the rear property line of all High Visibility + Prominent Lots by the Developer.

Any required fencing is to be completed within 24 months after the issuance of the Occupancy Certificate or 30 months after the issuance of the Building Permit, whichever is sooner.

6.4.1 WOOD SCREEN FENCE DETAIL

